

**RESOLUTION NO. 2005-68**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ELK GROVE  
APPROVING A DESIGN REVIEW FOR THE BRUCEVILLE RETAIL  
PROJECT NO. EG-03-559, SUBJECT TO THE FINDINGS AND  
CONDITIONS OF APPROVAL**

**WHEREAS**, the Bruceville Retail project included a Rezone and Design Review, represented by E.J. Plesko and Associates, c/o Terry Furmanek (hereinafter referred to as Property Owner and Applicant) filed an application with the City of Elk Grove (hereinafter referred to as City) for Assessor's Parcel Number 116-0012-005; and

**WHEREAS**, and a Negative Declaration has been prepared and completed in accordance with the California Environmental Quality Act (CEQA); and

**WHEREAS**, the City Council is the appropriate authority to hear and take action on this project after a recommendation by the Planning Commission; and

**WHEREAS**, the Planning Commission considered the applicant's request at a public hearing on January 27, 2005 and recommended City Council approval of the project.

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF ELK GROVE  
HEREBY RESOLVES AS FOLLOWS:**

1. Approve the Bruceville Retail project (EG-03-559) including a Rezone and Design Review based on the following findings and the attached design exhibits and Conditions of Approval included as Exhibits A and B respectively.

Findings

CEQA

Finding: The proposal will not have a significant adverse impact on the environment and a Negative Declaration has been prepared and completed in accordance with the California Environmental Quality Act (CEQA).

Evidence: An Initial Environmental Study/ Negative Declaration was prepared for the proposed project and conditions of approval have been developed that will reduce potential environmental impacts to less than significant levels. On the basis of the Negative Declaration, comments received, and the whole record, there is no substantial evidence that the project will have a significant adverse impact on the environment.

## General Plan

**Findings:** The project is consistent with the goals and policies of the Elk Grove General Plan.

**Evidence:** The General Plan identifies the site for Commercial uses. The proposed project is consistent with the general plan designations for the property and is consistent with the goals and policies of the General Plan for commercial/office development with the City of Elk Grove.

## Rezone

**Finding:** The proposed rezone is in the public interest. (Section 65358(a) of the Government Code and the Plan Administration Element of the Elk Grove General Plan).

**Evidence:** The Planning Commission has reviewed the proposed rezone, staff report, and has received public testimony at a duly noticed public hearing regarding the matter. The applicant's proposal is consistent with the allowed density ranges and uses in the Zoning Code, Elk Grove General Plan and General Plan Land Use Map. The proposed project is consistent with the Plan's objectives of orderly and systematic development and responds to opportunities and constraints in the local community area.

## Design Review

**Finding:** The proposed project is consistent with the Citywide Design Guidelines.

**Evidence:** The Bruceville Retail project is consistent with the Citywide Design Guidelines. The site plan, building elevations, and landscape plan have been reviewed against the Citywide Design Guidelines for non-residential land uses, and it is concluded that the project's architecture and site planning meet all applicable design requirements. The project is subject to conditions of approval that will ensure consistency with all standard requirements.

**Finding:** The proposed architecture, site design, and landscape are suitable for the purposes of the office and commercial buildings and the site and will enhance the character of the community.

**Evidence:** The proposed Bruceville Retail site plan, building elevations, and landscape plans provide all design elements required by the Citywide Design Guidelines, including consistent detailing of the architectural style, providing sufficient pedestrian connectivity, application of a consistent color palette throughout the project, and creation of outdoor public spaces. The project is subject to conditions of approval that will ensure consistency with all standard requirements.


Finding: The architecture, including the character, scale and quality of the design, relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting and signing and similar elements establishes a clear design concept and is compatible with the character of buildings on adjoining and nearby properties.

Evidence: The proposed Bruceville Retail project will provide all required design elements that would establish an attractive commercial project and will be compatible with adjoining and nearby properties. The project is subject to conditions of approval that will ensure consistency with all standard requirements.


**PASSED AND ADOPTED** by the City Council of the City of Elk Grove on this 9<sup>th</sup> day of March 2005.

  
DANIEL BRIGGS, MAYOR of the  
CITY OF ELK GROVE

ATTEST:

  
PEGGY E. JACKSON, CITY CLERK

APPROVED AS TO FORM:

  
ANTHONY B. MANZANETTI,  
CITY ATTORNEY

**CERTIFICATION  
ELK GROVE CITY COUNCIL RESOLUTION NO. 2005-68**

STATE OF CALIFORNIA       )  
COUNTY OF SACRAMENTO    )       ss  
CITY OF ELK GROVE         )

**I, Peggy E. Jackson, City Clerk of the City of Elk Grove, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the City Council of the City of Elk Grove at a regular meeting of said Council held on the 9<sup>th</sup> day of March 2005 by the following vote:**

**AYES 5:                   COUNCILMEMBERS: Briggs, Scherman, Soares, Cooper, Leary**

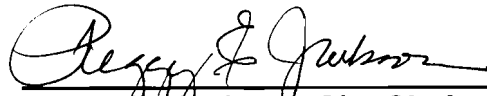
**NOES 0:                   COUNCILMEMBERS:**

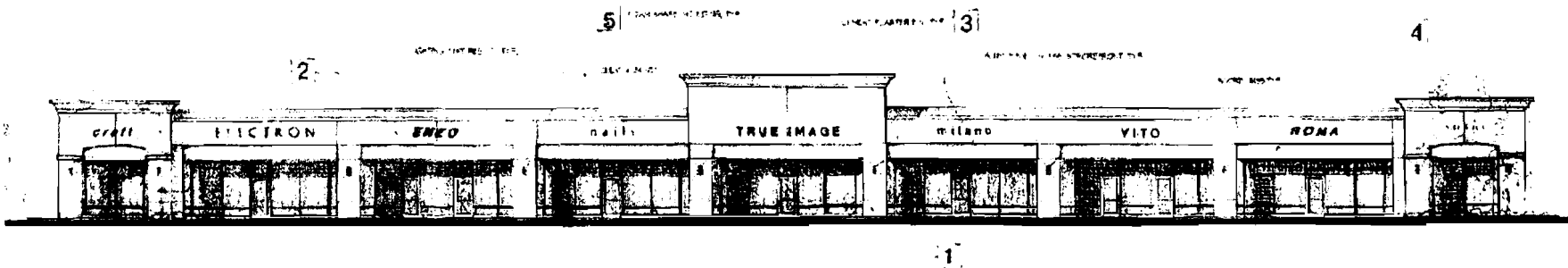
**ABSTAIN 0:               COUNCILMEMBERS:**

**ABSENT 0:               COUNCILMEMBERS:**

**RECUSAL 0:              COUNCILMEMBER:**



  
\_\_\_\_\_  
**Peggy E. Jackson, City Clerk  
City of Elk Grove, California**



FRONT ELEVATION

**TKF & ASSOCIATES**  
 ARCHITECTURE & PLANNING

7450 Natland Street Suite 1-1  
 Wood Sacramento, CA 95681  
 Tel: (916) 374-8430  
 Fax: (916) 374-8403

**RECEIVED**

SEP 24 2004

CITY OF ELK GROVE  
 PLANNING

Exhibit A

5

1

4

2

3

# BRUCEVILLE RETAIL

EXTERIOR MATERIALS/COLOR SCHEDULE

Elk Grove, California

TKF #03.029.00

**TKF & ASSOCIATE**  
ARCHITECTURE & PLANNING

1450 Halyard Drive, Suite 1-A  
West Sacramento, CA 95691  
Tel: (916) 374-8430  
Fax: (916) 374-8403

12-24-2003

**BRUCEVILLE RETAIL SHOP**  
EXTERIOR MATERIALS/ COLOR SCHEDULE  
Elk Grove, California  
TKF # 03-029.00

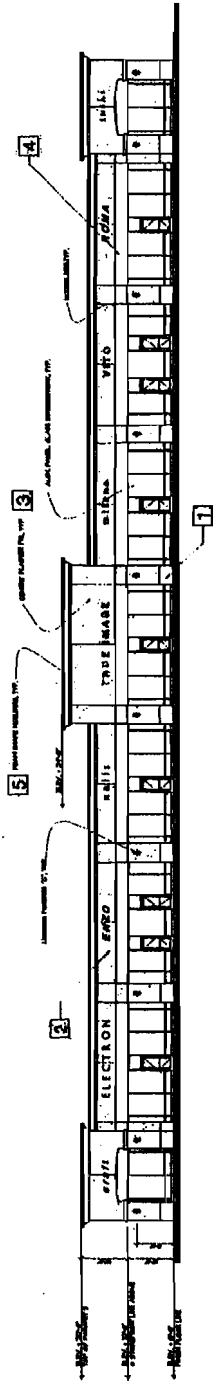
**COLOR SCHEME**

1. Exterior Stucco Base Siding: 7/8" Cement plaster, painted Dunn Edwards:  
"Weathered Coral" (SP 5)
2. Exterior Stucco Siding: 7/8" Cement Plaster, painted Dunn Edwards  
"Travertine" (SP 63)
3. Exterior Stucco Siding: 7/8" Cement Plaster, painted Dunn Edwards  
"Taos" (SP 2650)
4. Exterior Stucco Siding: 7/8" Cement Plaster, painted Dunn Edwards  
"White Sand" (SP 115-1)
5. Foam Shape Moulding @ Cornice Acrylic Plaster over form shape, painted Dunn  
Edwards:"Truffle" (SP 147)

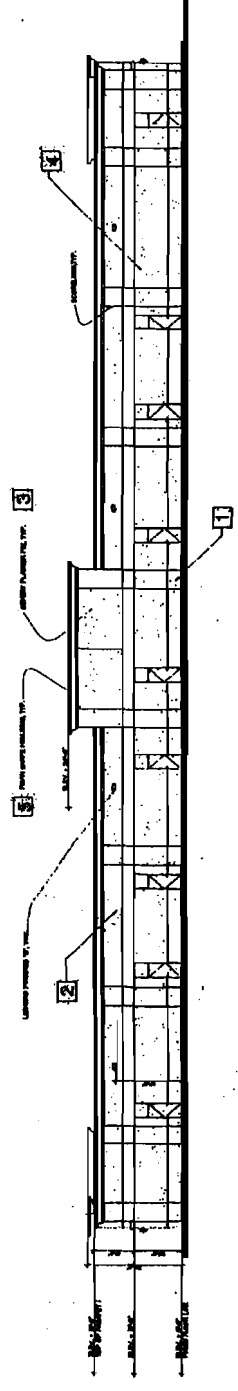
**RECEIVED**

SEP 24 2004

CITY OF ELK GROVE  
PLANNING

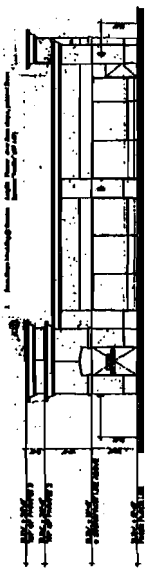


FRONT ELEVATION

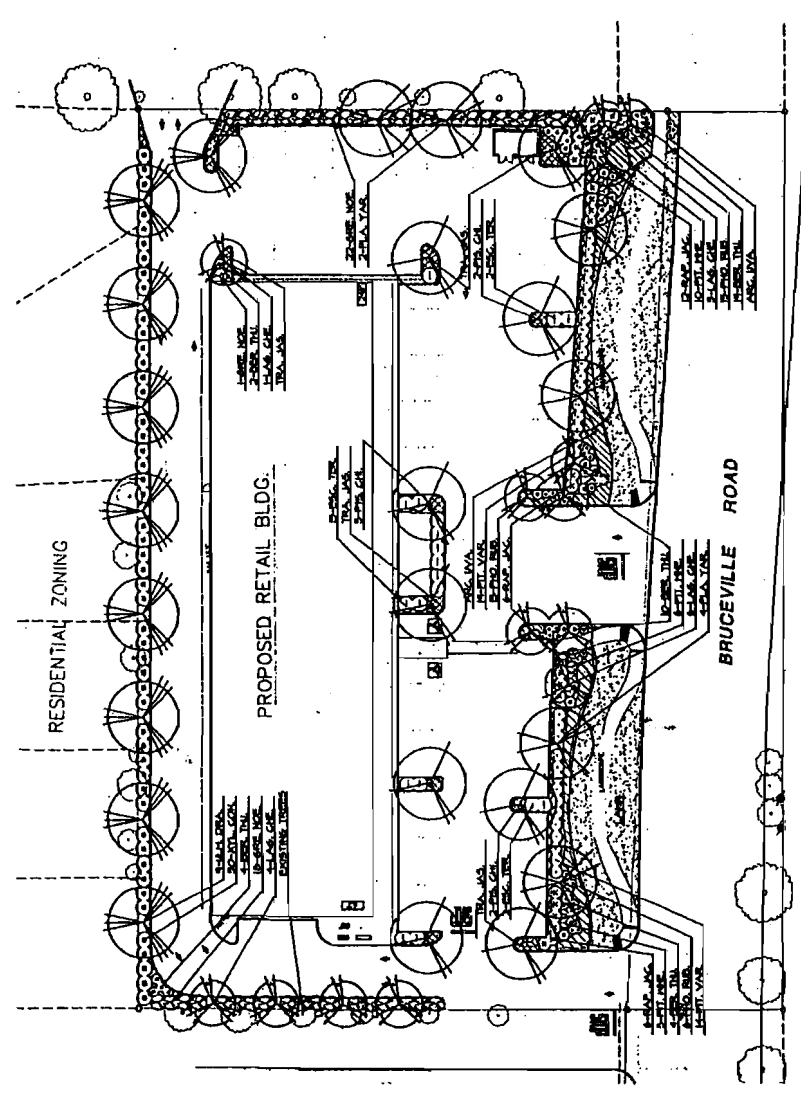


REAR ELEVATION

**RECEIVED**  
 SEP 4 4 2004  
 CITY OF ELK GROVE  
 PLANNING







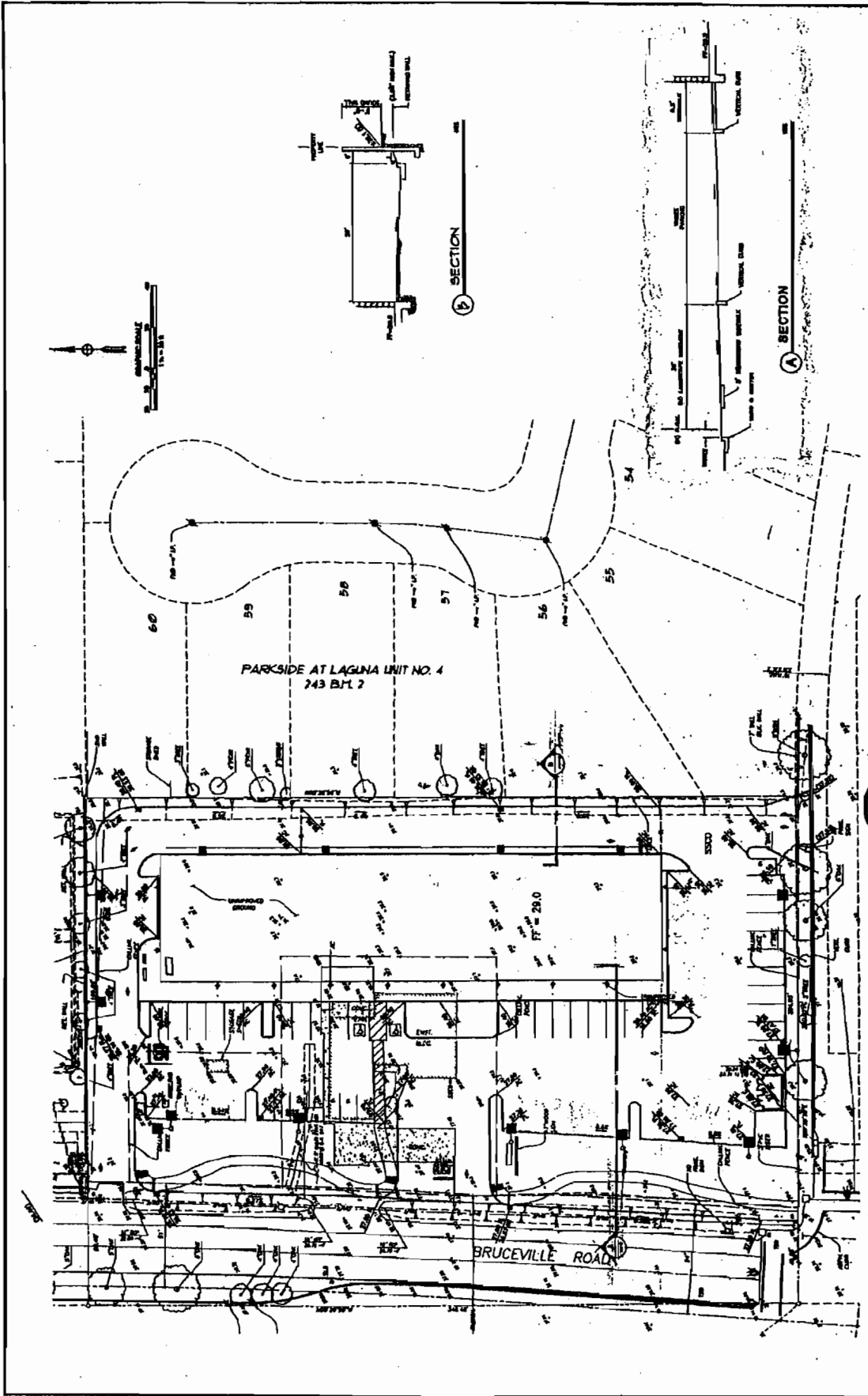
**PLANT LEGEND**

Code	Species	Common Name
LAK	Quercus laevis	Live Oak
PK	Pinus strobus	Pinus strobus
AL	Alnus incana	Alnus incana
FR	Fraxinus velutina	Fraxinus velutina
AM	Aster multiflorus	Aster multiflorus
TR	Thuja occidentalis	Thuja occidentalis
YU	Yucca filamentosa	Yucca filamentosa
SP	Sparganium angustifolium	Sparganium angustifolium
ST	Stipa sp.	Stipa sp.
TR	Thuja occidentalis	Thuja occidentalis
YU	Yucca filamentosa	Yucca filamentosa
SP	Sparganium angustifolium	Sparganium angustifolium
ST	Stipa sp.	Stipa sp.
TR	Thuja occidentalis	Thuja occidentalis
YU	Yucca filamentosa	Yucca filamentosa
SP	Sparganium angustifolium	Sparganium angustifolium
ST	Stipa sp.	Stipa sp.

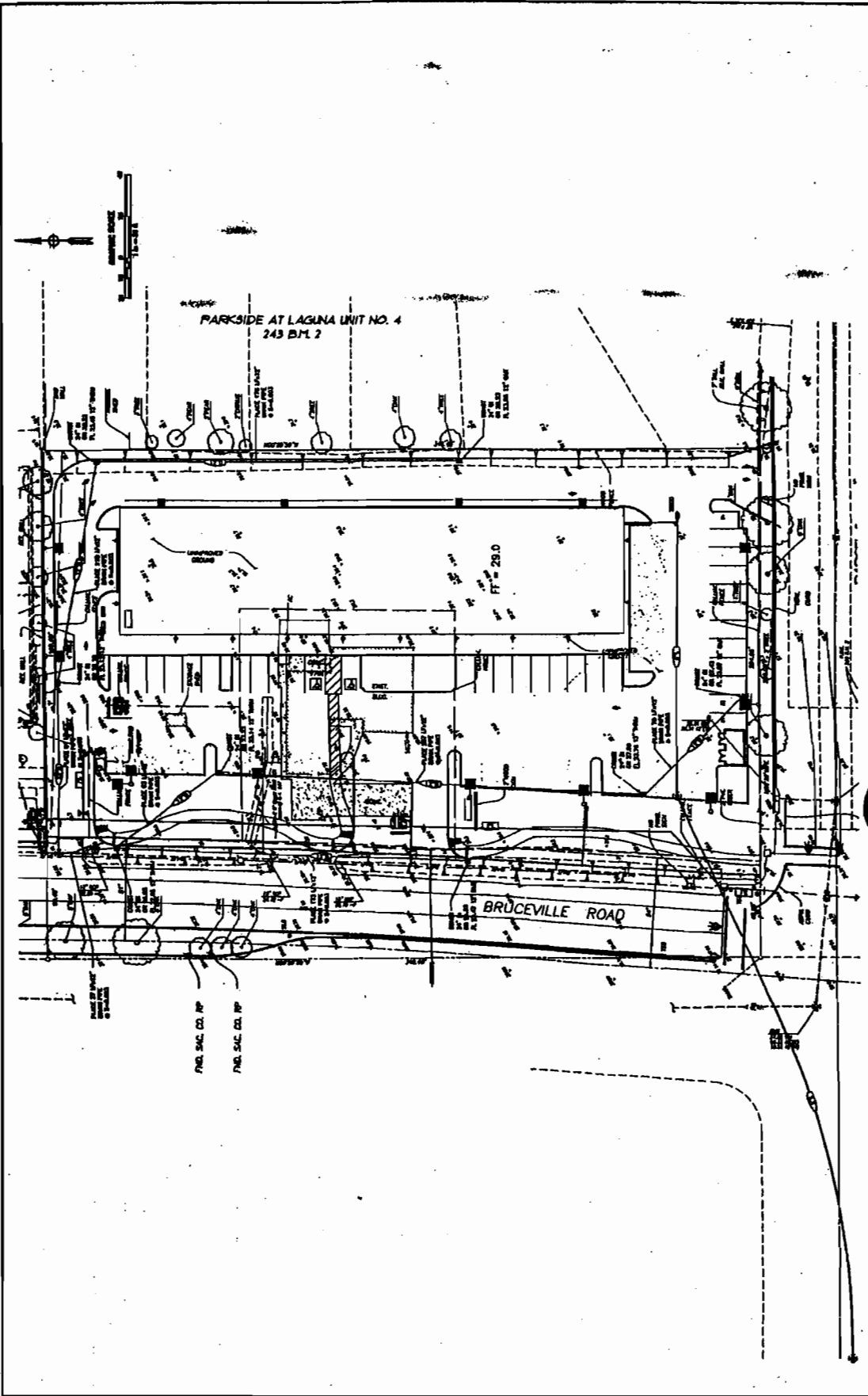
**PAVING LOT INSIDE CALCULATIONS**

Item	Area	Volume
LAK	1,000 sq ft	200
PK	1,000 sq ft	200
AL	1,000 sq ft	200
FR	1,000 sq ft	200
AM	1,000 sq ft	200
TR	1,000 sq ft	200
YU	1,000 sq ft	200
SP	1,000 sq ft	200
ST	1,000 sq ft	200





	<b>MORTON &amp; PITALO, INC.</b> CIVIL ENGINEERS • PLANNERS • ARCHITECTS	DATE REVISION SHEET A1-2
	<b>PRELIMINARY GRADING PLAN</b>	
CHECKED APPROVED	SCALE	



PARKSIDE AT LAGUNA UNIT NO. 4  
243 B.M. 2

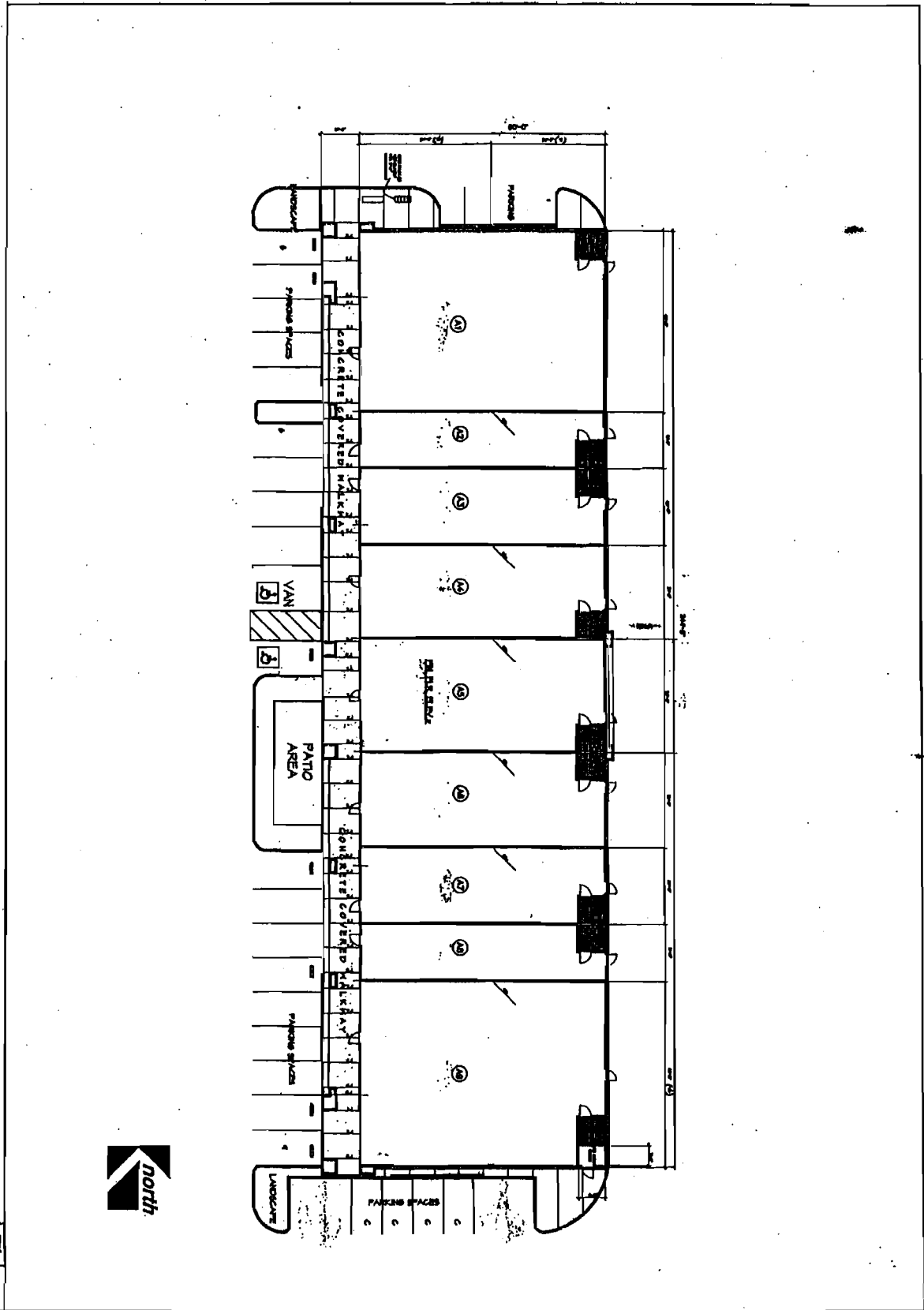
BRUCEVILLE ROAD

FIN. S&C CO. RP  
FIN. S&C CO. RP

FT. = 28.0

		<b>MORTON &amp; PITALO, INC.</b> CIVIL ENGINEERS • PLANNERS • ARCHITECTS	<b>BRUCEVILLE ROAD</b> UTILITY PLAN	SHEET NO. <b>A1-3</b>
DRAWN BY: _____ CHECKED BY: _____	PROJECT NAME: _____	DATE: _____	SCALE: _____	PROJECT NO.: _____





A-2

FLOOR PLAN

BRUCEVILLE RETAIL

818 GROVE, CALIFORNIA

**TKF** & ASSOCIATES

1430 HALLYARD DRIVE, STE. 1A  
 WEST SACRAMENTO, CALIFORNIA 95661  
 916 484-4428 FAX 916 484-4428

ARCHITECTURE  
 PLANNING  
 DESIGN

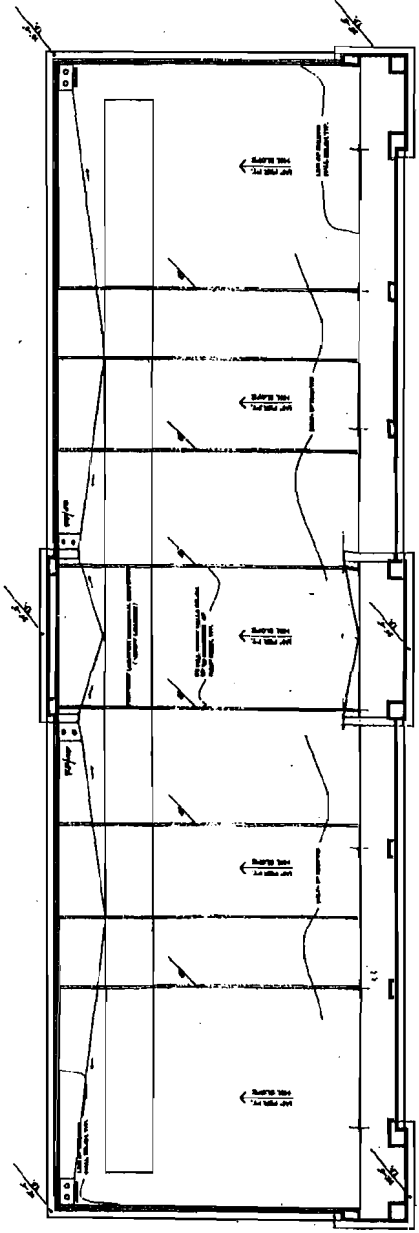
ARCHITECTURE  
 PLANNING  
 DESIGN  
 1450 HAYWARD DRIVE STE. 1A  
 WEST SACRAMENTO, CALIFORNIA 95661  
 (916) 486-2444  
 FAX: (916) 486-2444

**T K F**  
 & ASSOCIATES

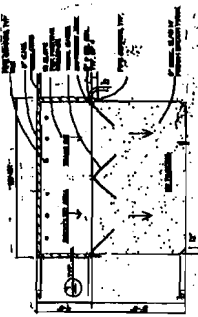
BRUCEVILLE RETAIL

ROOF PLAN  
 AND DETAILS

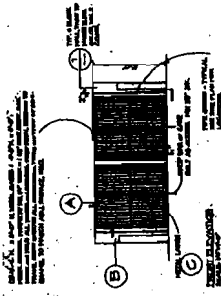
**RECEIVED**  
 SEP 24 2008  
 A CITY OF ELK GROVE



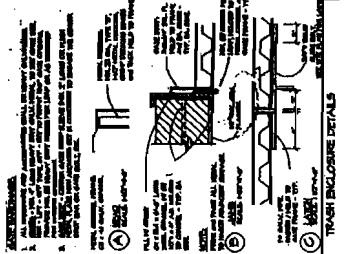
ROOF PLAN  
 SCALE: 3/8"=1'-0"



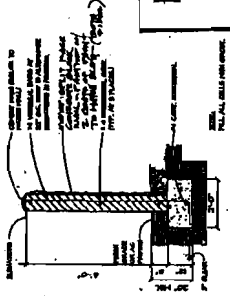
TRASH ENCLOSURE PLAN



TRASH ENCLOSURE DETAIL



TRASH ENCLOSURE SLOPED WALL



PROPERTY LINE WALL

SHEET 5

SHEET 7



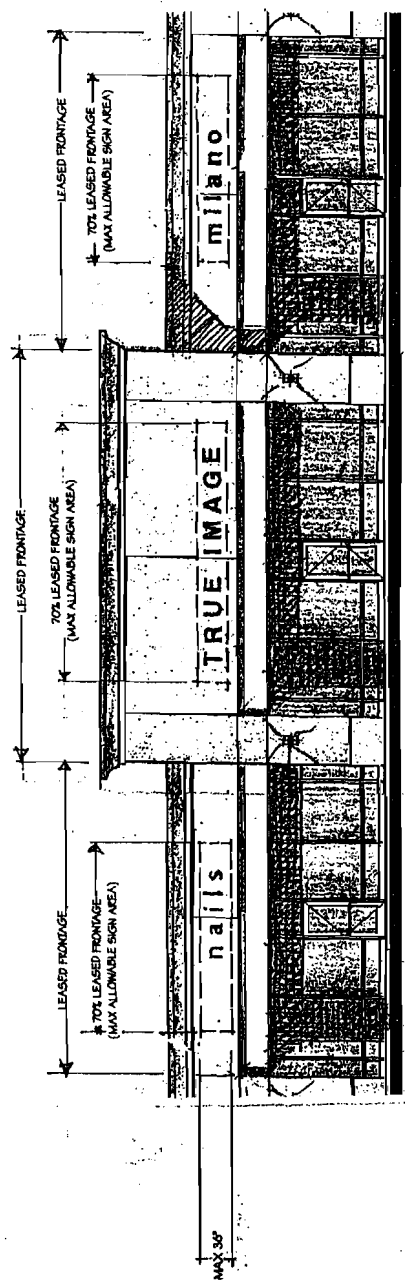


PROJECT	KEN FONG & ASSOCIATES
LOCATION	9089 BRUCEVILLE ROAD ELK GROVE CA
DATE	AS NOTED
DATE	22 DEC 03
DESIGNED BY	BRUCEICDR
APPROVED BY	FISHER
REVISIONS	
CRITERIA	
DATE	2
NO.	2

Since 1961  
**Fluoresco**  
 LIGHTING & SIGNS  
 ARIZONA CALIFORNIA NEVADA

**S2**

REFER TO DRAWING S-1  
 FOR LETTER DETAILS



PARTIAL FRONT ELEVATION

**RECEIVED**  
 SEP 24 2004  
 CITY OF ELK GROVE  
 PLANNING

<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
<p>1. The development approved by this action is for a Rezone and Design Review illustrated in the project plans included as part of the January 27, 2005 Planning Commission staff report.</p> <p>Deviations from the approved plans shall be reviewed by the City for substantial compliance and may require amendment by the appropriate hearing body.</p>	On-Going	Planning	
<p>2. This action does not relieve the applicant of the obligation to comply with all ordinances, statutes, regulations, and procedures.</p>	On-Going	Planning	
<p>3. The Applicant shall hold harmless the City, its Council Members, its Planning Commission, officers, agents, employees, and representatives from liability for any award, damages, costs and fees incurred by the City and/or awarded to any plaintiff in an action challenging the validity of this permit or any environmental or other documentation related to approval of this permit. Applicant further agrees to provide a defense for the City in any such action.</p>	On-Going	Planning	
<p>4. All improvements shall be designed and constructed in accordance with the City of Elk Grove Improvement Standards and to the satisfaction of Public Works.</p>	On-Going	Public Works	
<p>5. If there are any discrepancies between the approved site plan and the conditions of approval, the conditions of approval shall supersede the approved site plan.</p>	On-Going	Public Works	
<p>6. Pay all appropriate development fees charged by the City and other Special Districts providing services to the site.</p>	On-Going	Public Works	
<p>7. Street (trench) cuts into existing streets require a separate encroachment permit and the payment of street cut fees. Where multiple street cuts into the</p>	On-Going	Public Works	

EXHIBIT B

<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
same street occur, a single, final surface (pavement) trench repair over all the trench cuts is required. Pavement grinding is required for the full length and width of the trenches.			
8. Provide adequate ADA parking is required for 66 parking spaces.	On-Going	Public Works	
9. All traffic calming must be approved by Public Works prior to installation.	On-Going	Public Works	
10. Any monument signage shall be placed on the far side (north) of the central driveway on Bruceville Road.	On-Going	Public Works	
11. The project provides for 66 parking spaces. This allows for a building of 14,666 square feet.	On-Going	Planning	
<b>Construction Activities/Building Permits</b>			
12. All driveways shall require an encroachment permit. At that time the curb, gutter, sidewalk and all public improvements shall be evaluated to determine if those improvements need to be repaired/reconstructed.	Encroachment Permit	Public Works	
13. Prior to demolition of any existing on-site structures, conduct an evaluation of potential asbestos-containing building materials as required by the Sacramento Metropolitan Air Quality Management District. If asbestos-containing materials are identified, remediation and disposal procedures shall be undertaken by qualified personnel in accordance with all applicable regulations, and in coordination with all applicable agencies.	Prior to Demolition	Planning/SMAQMD	
14. The project shall comply with the City of Elk Grove's Land Grading and Erosion Control Ordinances.	Grading Plan / Improvement Plans	Public Works	
15. File a notice of Intent and prepare a SWPPP. SWPPP improvements shall be in place prior to moving equipment, material and personnel on-site for grading activities.	Prior to issuance of the Grading Permit	Public Works	
16. Dedicate on Bruceville Road, east half section 54'	Improvement Plans	Public Works	

<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
from the approved centerline to back of curb. Sidewalks shall be separated from back of curb except at intersection and driveways. Improvements will be based on a 108' thoroughfare in accordance with the City of Elk Grove Improvement Standards and to the satisfaction of Public Works.			
17. Dedicate a pedestrian easement within the 36' landscape easement to the satisfaction of Public Works.	Improvement Plans	Public Works	
18. All improvements shall be dedicated in accordance with the City of Elk Grove Improvement Standards and to the satisfaction of Public Works.	Improvement Plans	Public Works	
19. Dedicate a 12.5 foot public utility easement for underground and or overhead facilities and appurtenances adjacent to public streets if not present.	Improvement Plans	Public Works	
20. Provide reciprocal access easement agreement between project parcel and both the parcels to the north and south, respectively.	Improvement Plans	Public Works	
21. Improvement plan must be approved by Public Works prior to City Council approval of Building Permits.	Building Permits	Public Works	
22. All driveways and the adjacent intersection shall conform to the visibility easement requirement in the City of Elk Grove Improvement Standard.	Improvement Plans	Public Works	
23. The dimension of the compact parking spaces shall be 9' by 16'.	Improvement Plan	Public Works	
24. All driveways throat depth shall be at least 45 feet, clear of parking spaces, measured from the back of sidewalk.	Improvement Plans	Public Works	
25. All driveways must be designed and constructed to the satisfaction of Public Works and to the appropriate section of 4-10 Driveways in the City of Elk Grove Improvement Standards.	Improvement Plans	Public Works	
26. The internal circulation and access shall be subject to	Improvement Plans	Public Works	

<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
the review and approval of Public Works. The Fire Department must provide, in writing, their approval of the 20' travel way between the eastern side of the building and the existing sound wall for the properties to the east			
27. All improvements shall be designed in accordance with the City of Elk Grove Improvement Standards and to the satisfaction of Public Works.	Improvement Plans	Public Works	
28. Design and construct the stormwater treatment facilities prior to the drainage entering the public drainage system to the satisfaction of the City's Public Works and provide an agreement for the maintenance of such treatment facility.	Improvement Plans	Public Works	
29. All finished floor elevations must be a minimum of 1 foot above the 100-yr water surface elevation in the area, calculated with a method acceptable to the City of Elk Grove, Public Works, Drainage. Provide hydraulic calculations as to the manner the 100-year water surface elevation was calculated.	Improvement Plans/Grading/ Building Permit	Public Works	
30. At all street intersections, public or private, within one block of the proposed project, applicant shall install and/or replace street name signs in accordance with the City of Elk Grove Standard Details.	Building Permit	Public Works	
31. All improvements shall be installed in accordance with the City of Elk Grove Improvement Standards and to the satisfaction of Public Works.	Building Permits	Public Works	
32. Improve Bruceville Road, east half section 48' from the approved centerline to back of curb and full landscape improvements within the dedicated landscape buffer. Sidewalks shall be separated from back of curb except at intersection and driveways. Improvement will be based on a 108' thoroughfare in accordance with the City of Elk Grove Improvement Standards and to the satisfaction of Public Works.	Prior to Occupancy	Public Works	

<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
33. Any improvements, public or private, damaged in construction shall be replaced in-kind or with new improvement.	Prior to Occupancy	Public Works	
34. Provide evidence that the existing residential water service or well and septic/leach field or sewer connection have been properly abandoned. Abandonment shall occur prior to grading plan approvals.	Grading Plans	Public Works	
35. Water supply shall be provided by the Sacramento County Water Agency.	Building Permit	Water Supply	
36. Provide public water service to the building.	Building Permit	Water Supply	
37. Dedicate maintenance easements in all public and private streets over all water lines to the satisfaction of Sacramento County Water Agency prior to building permit approval.	Building Permit	Water Supply	
38. Destroy and abandon wells on the proposed site in accordance with the requirements of the Sacramento County Environmental Health Division. Clearly show all abandoned/destroyed wells on the improvement plans for the project. Prior to abandoning any existing agricultural wells, applicant shall use water from agricultural wells for grading and construction.	Building Permit	Water Supply	
39. Connection to the District's sewer system shall be required to the satisfaction of CSD-1. Sacramento County Improvement Standards apply to sewer construction.	Building Permit	CSD-1	
40. Pay Park and Recreation Review Fees as required by the EGCS D.	Improvement Plans	EGCS D Parks	
41. Landscape corridors shall be constructed and installed in accordance with plans and specifications approved by the EGCS D and shall be consistent with the EGCS D "General Guidelines for Landscape Corridor Design" and other EGCS D projects in close vicinity to the area.	Improvement Plans	EGCS D Parks	

<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
42. When improvements to the landscape corridors are complete, an easement shall be conveyed to the EGCS D for ongoing maintenance, operation, repair and replacement. Alternatively, the applicant can maintain the landscape corridor at his or her own expense and no easement is required. Applicant must notify the EGCS D in writing of his or her intent to maintain the landscape corridor. Action by the applicant to maintain a landscape corridor does not affect participation in the Landscape and Lighting Assessment District. Applicant shall be responsible to pay the direct cost associated with the performance of this work until such time as the EGCS D incorporates the cost of doing this work into the assessment district budget and the resulting assessments are confirmed by compliance with the balloting procedures dedicated by Proposition 218.	Improvement Plans	EGCS D Parks	
43. A masonry wall of at least the height of the existing wood fence will be constructed adjacent to the residential development prior to building construction. The zoning code requires a minimum 6 foot height from highest adjacent grade. Foundation construction may begin prior to wall completion.	Improvement Plans and Building Plans	Planning	
44. The timing of landscape plans should be processed concurrently with the improvement plans. Coordination of this will be handled by the plan checker reviewing the project. A final landscape plan shall be reviewed by the City Landscape Architect.	Improvement Plans/ Landscape Plans	Dev. Services	
45. The trees along the eastern property line shall be 24" box trees.	Improvement Plans/ Landscape Plans	Dev. Services	
46. Trash pickup from the site will not be before 8:00 am and not after 6:00pm. The project developer shall contact their solid waste hauler about this provision.	Occupancy of building	Planning	

	<b><u>Conditions of Approval / Mitigation Measure</u></b>	<b><u>Timing/ Implementation</u></b>	<b><u>Enforcement/ Monitoring</u></b>	<b><u>Verification (date and Signature)</u></b>
47.	Construction activities on site shall be limited to the hours of 7:00 am to 6:00 pm for Monday through Friday and 8:00 am to 5:00 pm on Saturday and Sunday. This includes site improvement and building activities.	During construction activities. This shall be a note on improvement and building plans	Planning	



---

**General Compliance Items for Building Permit**

1. Prior to issuance of building permits, the project developer/owner shall pay Zone 40 development fees applicable at the time of building permit issuance in accordance with Sacramento County Water Agency Ordinance No. 18. (Water Supply)
2. Provide separate water service to the building.
3. Prior to issuance of building permits, the project shall conform to the specific provisions of the Sacramento County Landscape Water Conservation Ordinance (Chapter 14.10 of the Sacramento County Code) to the satisfaction of the County Landscape/Oak Tree Coordinator. (Water Supply)
4. Permits and/or fees are required for the following reviews: civil plans, architectural plans, fire sprinkler plans and fire alarm plans. Additional permits and fees may apply depending upon the scope of the project.
7. Dead-end streets in excess of 150 feet require emergency vehicle turn-a-rounds.
8. Any and all gates impeding fire lanes or roadways shall comply with Appendix VII of the 2002 Sacramento County Fire Code.
9. If homes exceeding 3,600 square feet (including garages and covered porches) will be built in this subdivision, additional fire flow analysis of the water system must be conducted. Single family dwellings 3,601 square feet to 4,800 square feet require 1,750 gpm and homes 4,801 square feet to 6,200 square feet require 2,000 gpm.
10. An approved automatic fire sprinkler system shall be installed within all new R-3 occupancies when the total floor area (area under roof including garages and attached solid roof canopies) exceeds 5,999 square feet and/or the total livable area (area not including garages and attached solid roof canopies) exceeds 4, 999 square feet.
11. As of February 1, 2003, all contractors for single-family homes and duplexes (R-3 Occupancies) shall provide an option for residential fire sprinklers. Prior to the prospective buyer signing a sales contract, the contractor or their agent shall obtain from the Fire Department an informational packet containing educational materials approved by the Fire Department, including a form explaining the option for residential sprinklers. The contractor or their agent shall provide the approved informational packet to any and all prospective buyers and require the execution of a signed receipt for the educational material from the prospective buyer. The contractor shall install residential fire sprinklers upon the request and execution of a purchase agreement by the homebuyer. Fire sprinkler systems for single-family homes and duplexes shall be designed and installed to not less than the minimum requirements contained in NFPA 13D, 1996 edition.
12. All civil engineering plans are required to be submitted in an electronic format. When plan is ready for final signature, it is required that the engineering firm will submit an electronic copy of the complete plan as it appears in the approved printed plans with addresses. All electronic formats will be submitted on Windows/DOS formatted diskettes, zip disks or on compact disk (CD). E-mailed copies will not be accepted at this time. Electronic formats can be submitted in either of the following data transfer formats listed below:

DFX (Drawing Interchange file) release 2002 or previous  
DWG (Applies to AUOCAD drawing file) release 2002 or previous

13. Addresses for all lots shall be provided to the Fire Department within sixty (60) days of Fire Department signature of approval for development plans.
14. This development is required to provide fire flow from a public water system capable of delivering at a minimum 50 PSI static pressure and 3,000 GPM at 20 PSI residual pressure in commercial areas and 50 PSI static pressure and 1,000 GPM at 20 PSI residual pressure in residential, single-family home areas. Buildings of certain types of construction, size, and use may need additional fire flow or the application of mitigating efforts to meet fire flows above this minimum.
15. All required roadways, street signs, addresses, water mains, fire hydrants, and fire flows shall be provided prior to the existence of any combustible construction or storage. The slope of access roadways shall not exceed 10% for asphalt and 15 % for concrete. The roadways shall be constructed to a 20-foot minimum width with a minimum of three (3) inches AC over six (6) inches AB with good drainage.
16. Traffic pre-emption devices of a typed approved by the Elk Grove Fire Department, shall be installed on all traffic signal devices erected or modified by this development. These devices shall be installed and functioning prior to any occupancy and at no cost to the Elk Grove Fire Department.
17. Required fire alarm systems (other than single family dwellings) shall be connected to a UL listed central station approved by the Sacramento County Regional Communications Center.
18. Permits and/or fees are required for the following plan reviews: site plan, architectural plan, fire sprinkler plan, fire alarm plan, and special extinguishing plans.
19. The installation of on-site or off-site fire protection equipment including fire hydrants and water mains shall meet the standards of the Elk Grove Fire Department and the water purveyor having jurisdiction.
20. The installation of roadway gates, addresses, landscaping, pipe bollards, fuel tanks, masonry sound walls, tree wells, and/or traffic calming devices are subject to standards outlined by the Elk Grove Fire Department.